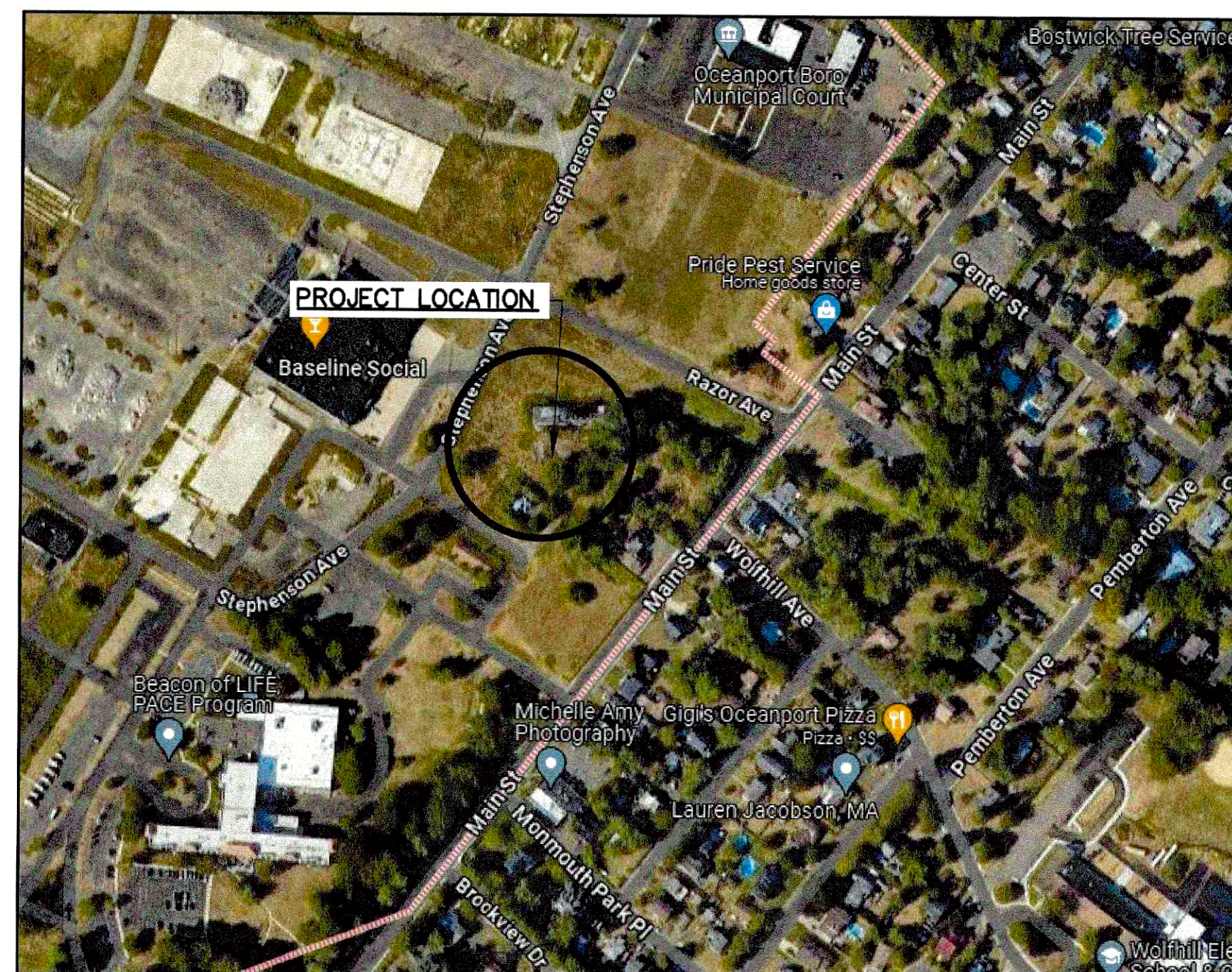
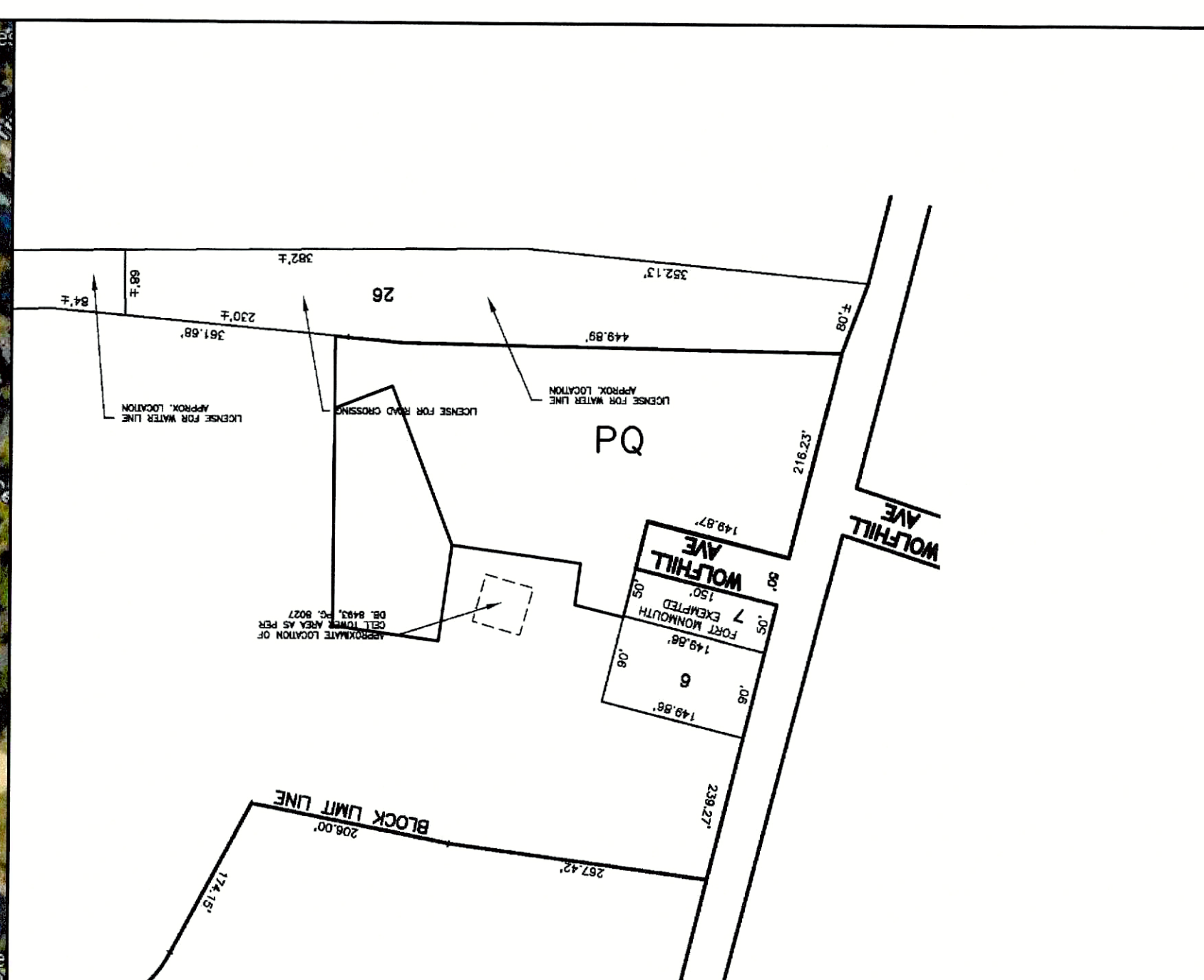


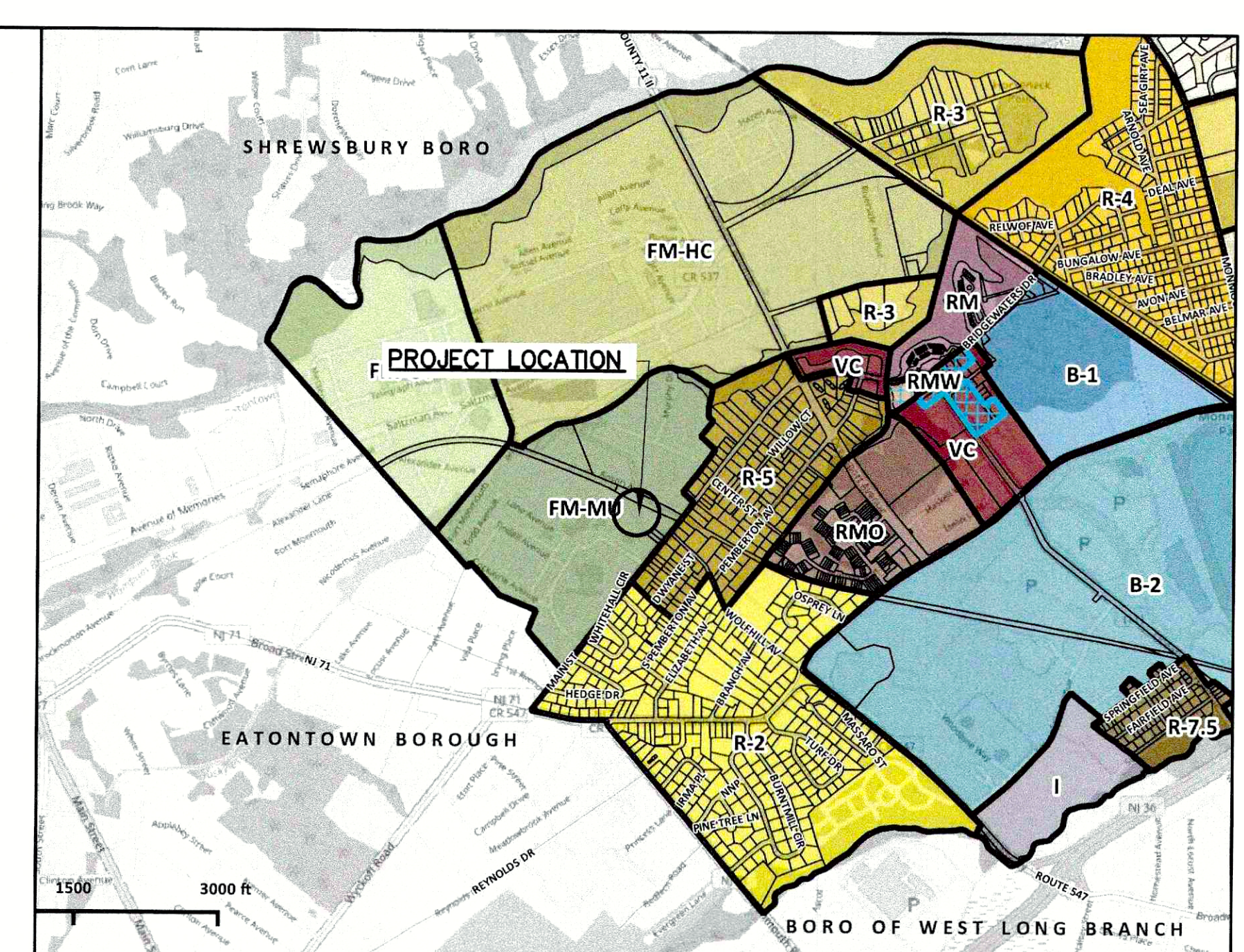
SITE PLAN FOR JERSEY CENTRAL POWER AND LIGHT MOD SUBSTATION AT FMERA PORTION OF LOT 4 IN BLOCK 110 BOROUGH OF OCEANPORT MONMOUTH COUNTY, NEW JERSEY



LOCATION MAP
N.T.S.



KEY MAP
N.T.S.



ZONING MAP
N.T.S.

BULK REQUIREMENTS			
EDUCATION/MIXED USE NEIGHBORHOOD ZONE	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT SIZE (SQ.FT.)	N/A	60,824	60,824
MINIMUM LOT WIDTH (FT.)	N/A	288.33	288.33
MINIMUM LOT DEPTH (FT.)	N/A	506.27	506.27
MINIMUM FRONT YARD (FT.)	10	102.53	128.10
MINIMUM SIDE YARD (FT.)	15	19.65	22.79
MINIMUM REAR YARD (FT.)	25	253.38	159.44
MAXIMUM LOT COVERAGE (%)	60	11.34	24.44
MAXIMUM BUILDING HEIGHT (STORIES/FT.)	3/45	1/20	N/A
MAXIMUM FLOOR AREA RATIO	0.20	0.041	N/A

* FULL PROPERTY SURVEY NOT PERFORMED. THESE NUMBERS ARE UNKNOWN.

JOB NO. FE17093922
DECEMBER 7, 2023

PLANS PREPARED BY
BOSWELL ENGINEERING
330 PHILLIPS AVENUE
SOUTH HACKENSACK, NEW JERSEY 07606
TEL: (201) 641-0770 . FAX: (201) 641-1831

N.J. CERTIFICATE OF AUTHORIZATION NO. 24GA27958000

OWNER:
FORT MONMOUTH ECONOMIC
REVITALIZATION AUTHORITY
502 BREWER AVENUE
OCEANPORT, NEW JERSEY 07757

APPLICANT:
JERSEY CENTRAL POWER AND LIGHT
300 MADISON AVENUE
MORRISTOWN, NEW JERSEY 07960

INDEX OF SHEETS	
SHEET NO.	DESCRIPTION
1	TITLE SHEET
2	PROPERTY OWNERS LIST
3	EXISTING CONDITIONS PLAN
4	DEMOLITION PLAN
5	SITE PLAN
6	SOIL EROSION AND SEDIMENT CONTROL PLAN
7	CONSTRUCTION DETAIL SHEET

NO.	DATE	DESCRIPTION	SURVEYED BY	DRAWN BY	DESIGNED BY	CHECKED BY
1	2-26-24	REVISE SHEETS.		CK.T.		J.L.M.

Boswell ENGINEERING

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330 PHILLIPS AVENUE, SOUTH HACKENSACK, NJ 07606

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N.J. CERTIFICATE OF AUTHORIZATION No. 24GA27958000

KEVIN J. BOSWELL

PROFESSIONAL ENGINEER N.J. LIC. 32943

JEFFREY L. MORRIS

PROFESSIONAL ENGINEER AND LAND SURVEYOR
N.J. LIC. 24GB0397900
PROFESSIONAL PLANNER N.J. LIC. 33LI00520600

JERSEY CENTRAL POWER AND LIGHT
MOD SUBSTATION AT FMERA

TITLE SHEET

BOROUGH OF OCEANPORT

MONMOUTH COUNTY NEW JERSEY

SURVEYED BY:	DESIGNED BY: L.V.P.	SCALE:	JOB NO.:	DATE:
DRAWN BY: L.V.P.	CHECKED BY: J.L.M.	1" = 40'	FE17093922	12/07/2023

CADD FILE: FE17093922-TS SHEET 1 OF 7

PROPERTY OWNERS WITHIN 200 FT. OF BLOCK 110, LOT 4:

Table with multiple columns for Block, Lot, Qual, Cla, Property Owner, and Property Location. It lists numerous property owners and their addresses within the specified block and lot area.

Continuation of the property owner table, listing additional owners and their locations within the same area.

PQ AREA UTILITY SUPPLIERS

TWO RIVERS WATER RECLAMATION CENTER
1 HIGHLAND AVENUE
AUTHORITY
MONMOUTH BEACH, NEW JERSEY 07750

COMCAST
403 SOUTH STREET
EATONTOWN, NEW JERSEY 07724

N.J. NATURAL GAS CO.
1415 WYCKOFF ROAD
WALL, NEW JERSEY 07719

JCP&L Co.
300 MADISON AVENUE
MORRISTOWN, NEW JERSEY 07960
ATTN: RICHARD COHEN

N.J.-AMERICAN WATER COMPANY, INC.
1025 LAUREL OAK ROAD
VOORHEES, NEW JERSEY 08043
ATTN: DONNA SHORT, GIS SUPERVISOR

VERISON
5011 BELMAR BOULEVARD
WALL, NEW JERSEY 07719

Table with columns for NO., DATE, DESCRIPTION, SURVEYED BY, DESIGNED BY, CHECKED BY. Includes revision notes for sheets 2-26-24.

BOSWELL ENGINEERING logo and contact information: 330 PHILLIPS AVENUE, SOUTH HACKENSACK, NJ 07606. TEL: (201) 641-0770 FAX: (201) 641-1831. N.J. CERTIFICATE OF AUTHORIZATION No. 24GA27958000.

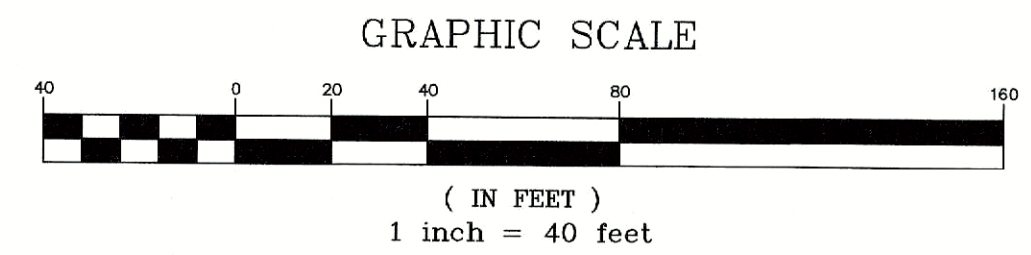
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JEFFREY L. MORRIS
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N.J. LIC. 24CB0397900
PROFESSIONAL PLANNER N.J. LIC. 33LI00520600

JERSEY CENTRAL POWER AND LIGHT
MOD SUBSTATION AT FMRA
PROPERTY OWNERS LIST
BOROUGH OF OCEANPORT
NEW JERSEY
MONMOUTH COUNTY
CADD FILE: FE17093922-PO SHEET 2 OF 7



LEGEND OF SYMBOLS & ABBREVIATIONS			
HYDRANT	BOLLARD	STORM DRAIN	D
STREET LIGHT	PEDESTRIAN WALK SIGNAL	SANITARY UTILITY LINE	S
AREA LIGHT	DOOR	COMBINED UTILITY LINE	COMB
SIGNAL POLE	DOUBLE DOOR	UNKNOWN UTILITY LINE	UNK
POLE	OVERHEAD DOOR	GAS LINE	G
CLY WIRE	PARKING METER	WATER LINE	W
ANCHOR POLE	METAL COVER	ELECTRIC LINE	E
MANHOLE	ELECTRIC BOX	TELEPHONE LINE	T
MANHOLE (DRAINAGE)	SOIL BORING	CABLE TV LINE	C
MANHOLE (SANITARY SEWER)	MONITORING WELL	STEAM LINE	ST
MANHOLE (ELECTRIC)	TEST PIT	FORCE MAIN	FM
MANHOLE (WATER)	BENCHMARK	FIBER OPTIC	FO
MANHOLE (NATURAL GAS)	ROOF DRAIN	REFERENCED UTILITY LINE (TYPE AS NOTED) BASED ON RECORD MAPPING	(-)
MANHOLE (TELEPHONE)	SPOT ELEVATION	OVERHEAD WIRE	-
MANHOLE (FORCE MAIN)	CONCRETE CURB	GUIDE RAIL (TYPE AS NOTED)	X-X
MANHOLE (STEAM)	CONCRETE	CHAIN LINK FENCE	-X-
MANHOLE (UNKNOWN UTILITY)	DETECTABLE PAD	WOOD/STOCKADE FENCE	-X-X-
WATER VALVE	DROP CURB	WIRE FENCE	-X-X-
GAS VALVE	BROKEN WHITE STRIPE	IRON FENCE	-X-X-
REINFORCED CONCRETE PIPE	SINGLE YELLOW STRIPE	TREE LINE	-X-X-
DUCTILE IRON PIPE	DOUBLE YELLOW STRIPE	EASEMENT LINE	-X-X-
CORRUGATED METAL PIPE	SINGLE WHITE STRIPE	PROPERTY LINE	-X-X-
NO VISIBLE PIPE	REINFORCED CONCRETE PIPE	RIGHT-OF-WAY LINE	-X-X-
EDGE OF PAVEMENT	SHRUB	CONTOUR LINE	-X-X-
LANDSCAPED AREA	CATCH BASIN		
SURVEY BEARING & DISTANCE	CLEAN OUT		
DEED BEARING & DISTANCE	TREE		
	SIGN		



NOTE:

- THIS PLAN MADE FROM A SURVEY PERFORMED BY LANGAN ENGINEERING AND ENVIRONMENTAL SERVICES, INC., 300 KIMBALL ROAD, PARSIPPANY, NEW JERSEY, 07054 TITLED MOD SUBSTATION AT FMERA, TOPOGRAPHIC SURVEY AND DATED 12/06/2022.
- BOUNDARY INFO TAKEN FROM PLAN TITLED "ALTA/NSPS (2016) LAND TITLE SURVEY, PORTION OF LOT 4 IN BLOCK 110, BOROUGH OF OCEANPORT, MONMOUTH COUNTY, NEW JERSEY, EXHIBIT MAP SHOWING OF CONCEPT PARCEL 6" PREPARED BY T AND M ASSOCIATES, PREPARED FOR FORT MONMOUTH ECONOMIC REVITALIZATION AUTHORITY, DRAFT DATED AUGUST 10, 2021.

NO.	DATE	DESCRIPTION	SURVEYED BY	DRAWN BY	DESIGNED BY	CHECKED BY
1	2-26-24	REVISE SHEETS.			GK.T.	J.L.M.

PLOT BY: GREG TEDFORD PLOT DATE: 2/28/2024

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 N.J. CERTIFICATE OF AUTHORIZATION No. 24GA27958000

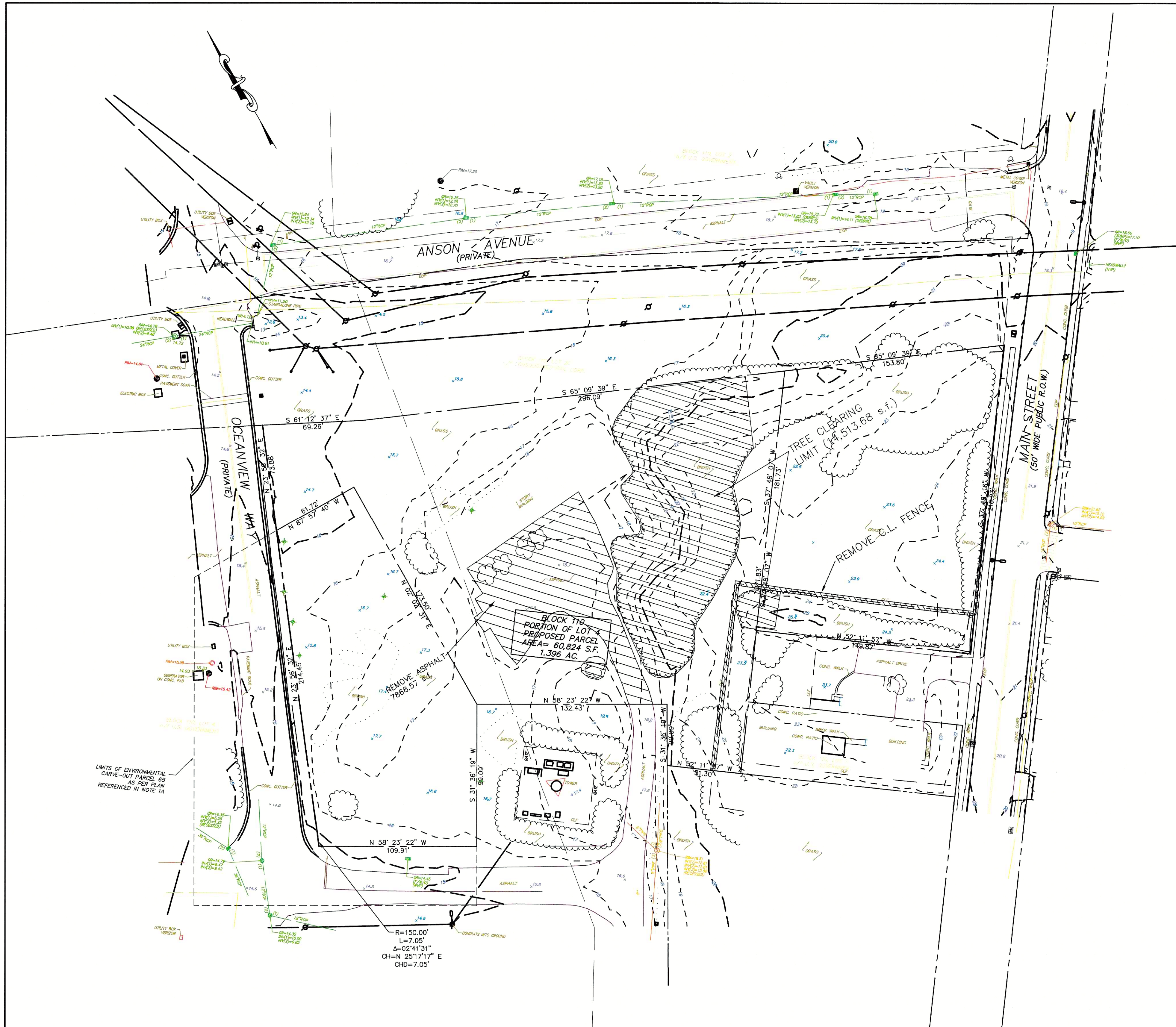
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 N.J. LIC. 24GB0397900
 PROFESSIONAL PLANNER N.J. LIC. 33LJ00520600

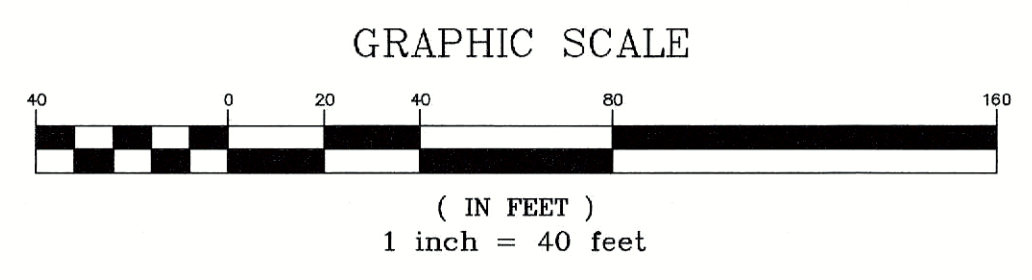
JERSEY CENTRAL POWER AND LIGHT
 MOD SUBSTATION AT FMERA
 EXISTING CONDITIONS PLAN
 BOROUGH OF OCEANPORT
 MONMOUTH COUNTY NEW JERSEY

SURVEYED BY: ---	DESIGNED BY: L.V.P.	SCALE: 1" = 40'	JOB NO. FE17093922	DATE: 12/07/2023
DRAWN BY: L.V.P.	CHECKED BY: J.L.M.			

CADD FILE: FE17093922-EC SHEET 3 OF 7



- NOTES
1. COORDINATES SHOWN ARE BASED ON THE NEW JERSEY STATE PLAIN COORDINATE SYSTEM (NAD 83) - TAPSCOTT PARCEL (2000) VERTICAL DATUM (NAD 83).
 2. SURVEY PROVIDED BY LANSAN ON DECEMBER 4TH, 2020.
 3. CONTRACTOR SHALL REMOVE TREES AS SHOWN ON THIS DRAWING.
 4. CONTRACTOR SHALL REMOVE EXISTING CHAIN LINK FENCE AS SHOWN ON THIS DRAWING.
 5. CONTRACTOR TO PROVIDE YIELD FROM DEMOLITION WORK WITH SOIL WILL MATERIAL.
 6. FIRST ELEM. TO COORDINATE RELOCATION OF EXISTING WATER LINE WHERE PROPOSED BASELINE IS 15' FROM 110.



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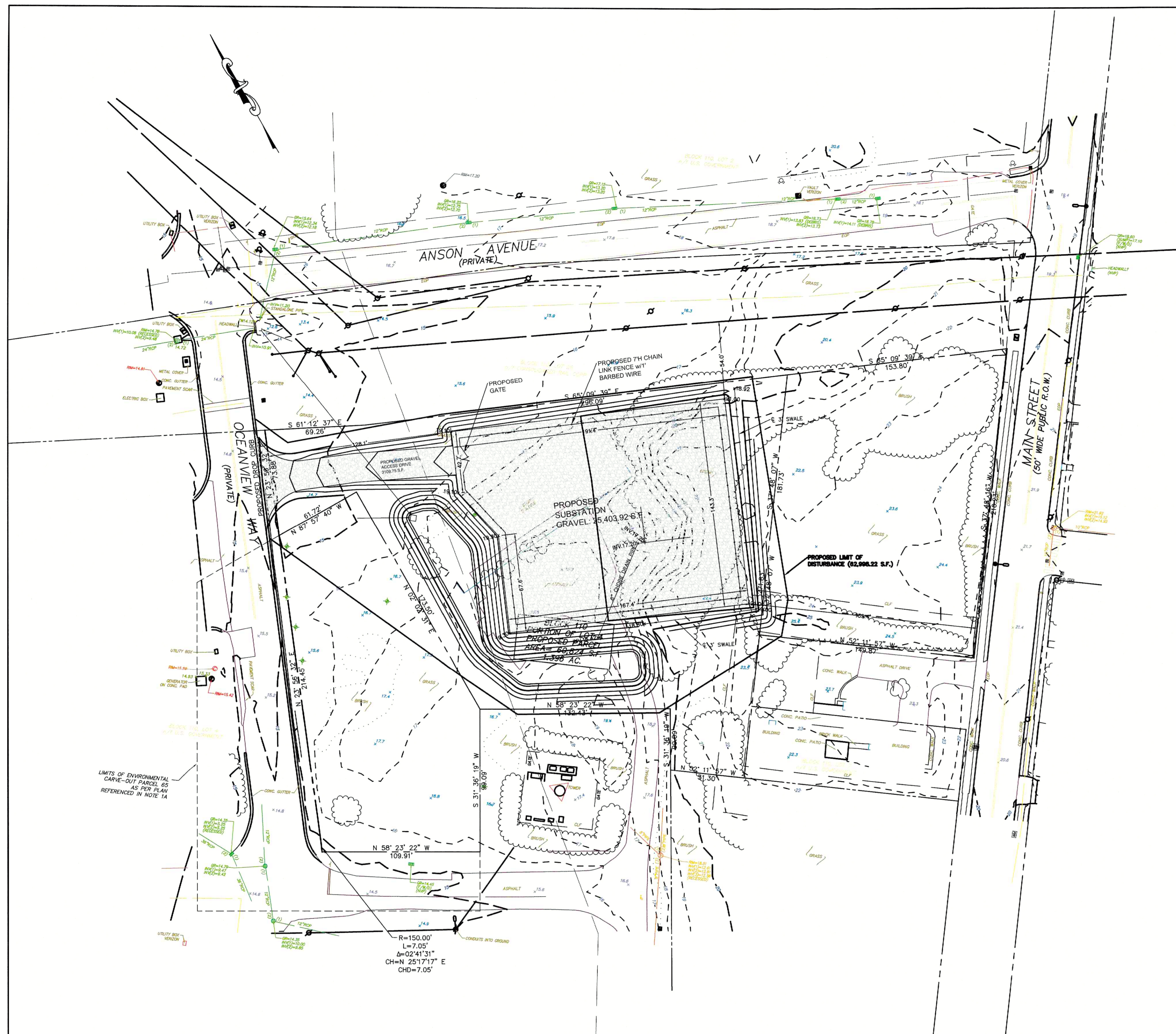
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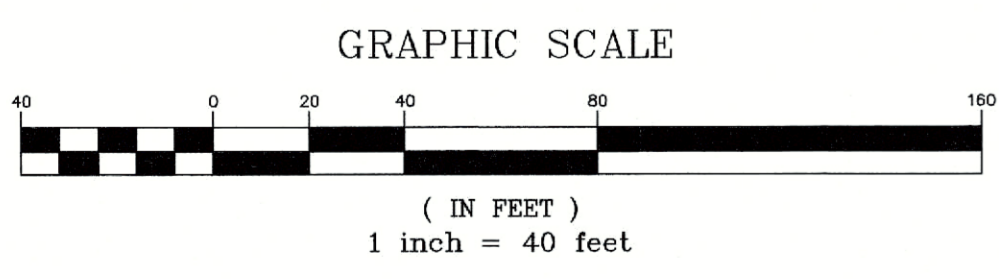
JERSEY CENTRAL POWER AND LIGHT
 MOD SUBSTATION AT FMRA
 DEMOLITION PLAN
 BOROUGH OF OCEANPORT
 MONMOUTH COUNTY NEW JERSEY

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DRAWN BY: L.V.P.	CHECKED BY: J.L.M.			

CADD FILE: FE17093922-DP SHEET 4 OF 7



- NOTES
1. DIMENSIONS SHOWN ARE BASED ON THE NEW JERSEY STATE PLANNING BOARD'S RECORD PLANS. DIMENSIONS SHOWN SHALL BE THE BASIS FOR CONSTRUCTION.
 2. CONTRACTOR SHALL VERIFY ALL PROPOSED UTILITY LOCATIONS PRIOR TO CONSTRUCTION. ALL UTILITIES SHALL BE MARKED BY THE CONTRACTOR PRIOR TO EXCAVATION. CONTRACTOR SHALL HAVE ALL UTILITIES MARKED TO THE FIELD.
 3. CONTRACTOR SHALL VERIFY ALL MATERIALS AND METHODS, INCLUDING SUBSTITUTES, BEFORE CONSTRUCTION. ALL MATERIALS AND METHODS SHALL BE APPROVED BY THE ENGINEER PRIOR TO CONSTRUCTION.
 4. ELEVATIONS AND DIMENSIONS ARE BASED ON TOP OF FINISH GRADE UNLESS OTHERWISE SPECIFIED. ELEVATIONS SHALL BE TO THE CENTERLINE OF THE ROAD.
 5. ALL SLOPES SHALL BE AS SHOWN OR AS SPECIFIED BY THE ENGINEER.
 6. GRAVEL SHALL BE UNIFORMLY MIXED FINISH GRADE AND APPROVED SUBGRADE.
 7. ALL TRENCHES AND AREAS TO BE GRADED SHALL BE STRIPPED TO A DEPTH OF 6" MINIMUM.
 8. PRIOR TO PLACING FILL, CONTRACTOR SHALL BE THOROUGHLY PROTECTED AND SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.
 9. FILL SHALL BE PLACED IN 8" MAXIMUM LIFTS. FILL SHALL BE PLACED AT DETERMINED SPACING AND COMPACTED TO AT LEAST 95% OF THE MAXIMUM DENSITY AS OBTAINED BY THE STANDARD PROCTOR METHOD (ASTM D-1557).
 10. EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO GRADING AND SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
 11. CONTRACTOR SHALL PROVIDE A SMOOTH TRANSITION FROM EXISTING TO NEW PAVEMENT. AT ALL TIMES, CONTRACTOR SHALL MAINTAIN EXISTING CURBS AND PROVIDE REPAIR TO EXISTING CURBS AS NECESSARY TO PROVIDE THE REQUIRED TRANSITION.



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NO. DATE DESCRIPTION SURVEYED BY DRAWN BY DESIGNED BY CHECKED BY

1 2-26-24 REVISE SHEETS. GK.T. J.L.M.

PLOT BY: GREG TEFORD PLOT DATE: 2/28/2024

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 EST. 1924
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JERSEY CENTRAL POWER AND LIGHT
 MOD SUBSTATION AT FMRA
 SITE PLAN
 BOROUGH OF OCEANPORT
 MONMOUTH COUNTY NEW JERSEY

SURVEYED BY: ---	DESIGNED BY: L.V.P.	SCALE: 1" = 40'	JOB NO. FE17093922	DATE: 12/07/2023
DRAWN BY: L.V.P.	CHECKED BY: J.L.M.			

CADD FILE: FE17093922-SP SHEET 5 OF 7

SOIL EROSION AND SEDIMENT CONTROL NOTES

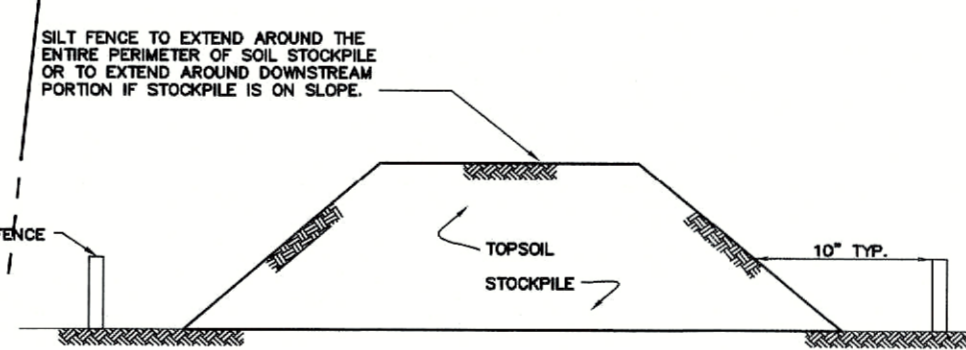
- The Freehold Soil Conservation District shall be notified forty-eight (48) hours in advance of any soil disturbing activity.
- All Soil Erosion and Sediment Control practices are to be installed prior to soil disturbance, or in their proper sequence, and maintained until permanent protection is established.
- Any changes to the Certified Soil Erosion and Sediment Control Plans will require the submission of revised Soil Erosion and Sediment Control Plans to the District for re-certification. The revised plans must meet all current State Soil Erosion and Sediment Control Standards.
- N.J.S.A 4:24-39 et. Seq. requires that no Certificates of Occupancy be issued before the District determines that a project or portion thereof is in full compliance with the Certified Plan and Standards for Soil Erosion and Sediment Control in New Jersey and a Report of Compliance has been issued. Upon written request from the applicant, the District may issue a Report of Compliance with conditions on a lot-by-lot or section-by-section basis, provided that the project or portion thereof is in satisfactory compliance with the sequence of development and temporary measures for soil erosion and sediment control have been implemented, including provisions for stabilization and site work.
- Any disturbed areas that will be left exposed more than sixty (60) days, and not subject to construction traffic, will immediately receive a temporary seeding. If the season prevents the establishment of temporary cover, the disturbed areas will be mulched with straw, or equivalent material, at a rate of 2 to 2 1/2 tons per acre, according to the Standard for Stabilization with Mulch Only.
- Immediately following initial disturbance or rough grading, all critical areas subject to erosion (i.e. soil stockpiles, steep slopes and roadway embankments) will receive temporary seeding in combination with straw mulch or a suitable equivalent, and a mulch anchor, in accordance with State Standards.
- A sub-base course will be applied immediately following rough grading and installation of improvements to stabilize streets, roads, driveways, and parking areas. In areas where no utilities are present, the sub-base shall be installed within fifteen (15) days of the preliminary grading.
- The Standard for Stabilized Construction Access requires the installation of a pad of clean crushed stone at points where traffic will be accessing the construction site. After interior roadways are paved, individual lots require a stabilized construction access consisting of one inch to two inch (1" - 2") stone for a minimum length of ten feet (10') equal to the lot entrance width. All other access points shall be blocked off.
- All soil washed, dropped, spilled, or tracked outside the limit of disturbance or onto public right-of-ways will be removed immediately.
- Permanent vegetation is to be seeded or sodded on all exposed areas within ten (10) days after final grading.
- At the time that site preparation for permanent vegetative stabilization is going to be accomplished, any soil that will not provide a suitable environment to support adequate vegetative ground cover shall be removed or treated in such a way that it will permanently adjust the soil conditions and render it suitable for vegetative ground cover. If the removal or treatment of the soil will not provide suitable conditions, non-vegetative means of permanent ground stabilization will have to be employed.
- In accordance with the Standard for Management of High Acid Producing Soils, any soil having a pH of 4 or less or containing iron sulfides shall be ultimately placed or buried with limestone applied at the rate of 10 tons/acre, (or 450 lbs/1,000 sq ft of surface area) and covered with a minimum of 12" of settled soil with a pH of 5 or more, or 24" where trees or shrubs are to be planted.
- Conduit Outlet Protection must be installed at all required outfalls prior to the drainage system becoming operational.
- Unfiltered dewatering is not permitted. Necessary precautions must be taken during all dewatering operations to minimize sediment transfer. Any dewatering methods used must be in accordance with the Standard for Dewatering.
- Should the control of dust at the site be necessary, the site will be sprinkled until the surface is wet, temporary vegetative cover shall be established or mulch shall be applied as required by the Standard for Dust Control.
- Stockpile and staging locations established in the field shall be placed within the limit of disturbance according to the certified plan. Staging and stockpiles not located within the limit of disturbance will require certification of a revised Soil Erosion and Sediment Control Plan. Certification of a new Soil Erosion and Sediment Control Plan may be required for these activities if an area greater than 5,000 square feet is disturbed.
- All soil stockpiles are to be temporarily stabilized in accordance with Soil Erosion and Sediment Control note #6.
- The property owner shall be responsible for any erosion or sedimentation that may occur below stormwater outfalls or offsite as a result of construction of the project.

Freehold Soil Conservation District

4000 Kozloski Road, Freehold, NJ 07728-5033, (732) 683-8500, fax (732) 683-9140, Email: info@freeholdscd.org.

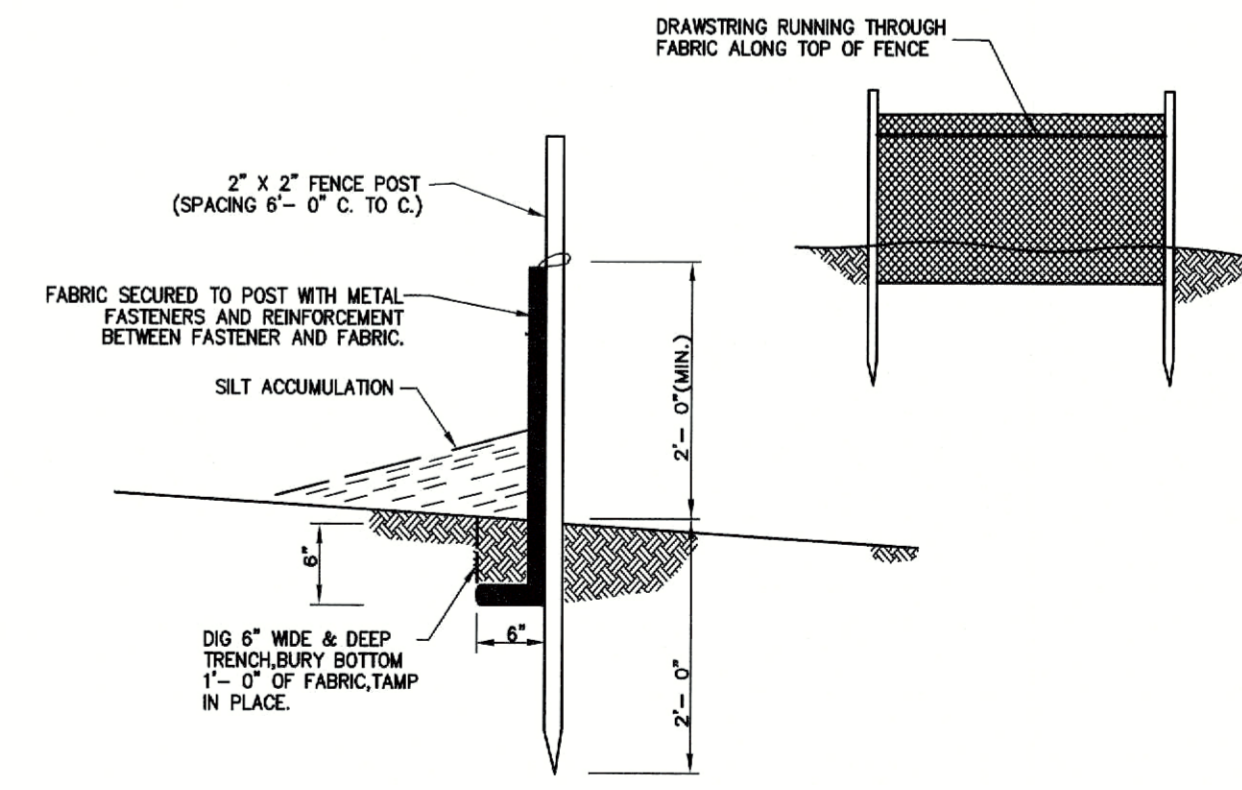
CONSTRUCTION SEQUENCE

IMPLEMENTATION OF SOIL EROSION AND SEDIMENT CONTROL MEASURES	1 DAY
- SILT FENCE	
- INLET FILTERS	
CLEARING/DEMO SITE	2 WEEKS
CONSTRUCT IMPROVEMENTS:	
- ROUGH GRADING & SUBSTATION PAD	3 WEEKS
- FINAL GRADING & FENCE INSTALLATION	5 DAYS
- SITE RESTORATION	1 WEEK
UNIFORMLY APPLY TOPSOIL TO AN AVERAGE DEPTH OF 5", MINIMUM 4", FIRMED IN PLACE.	1 WEEK
PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION	
REMOVAL OF ALL TEMPORARY SOIL EROSION AND SEDIMENT CONTROL MEASURES	1 DAY
TOTAL AREA OF DISTURBANCE = 62,998.22 S.F.	

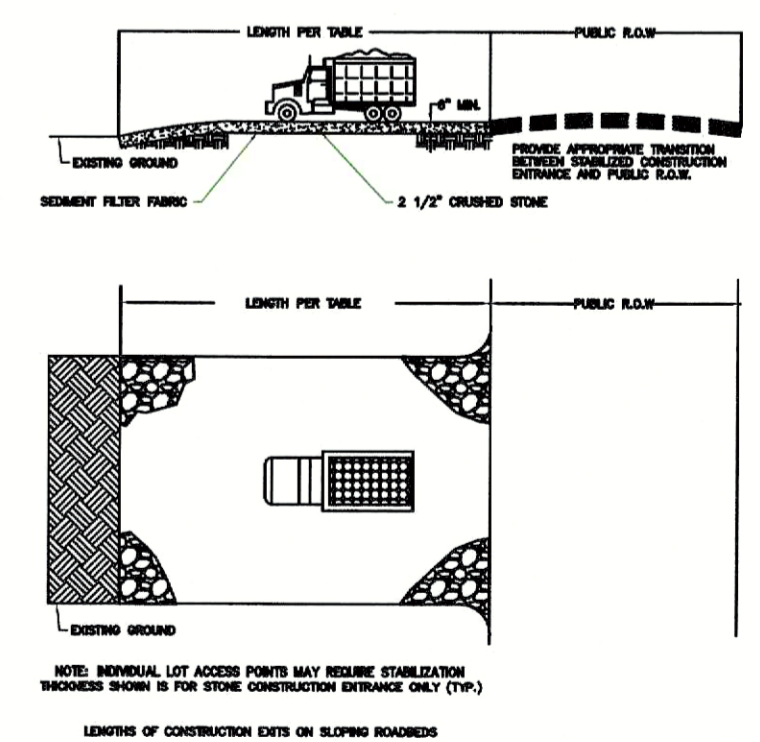


TEMPORARY STOCKPILE DETAIL
N.T.S.

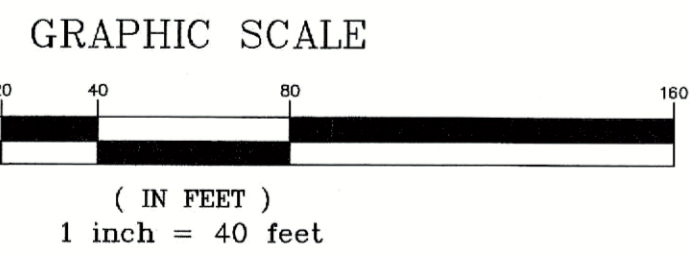
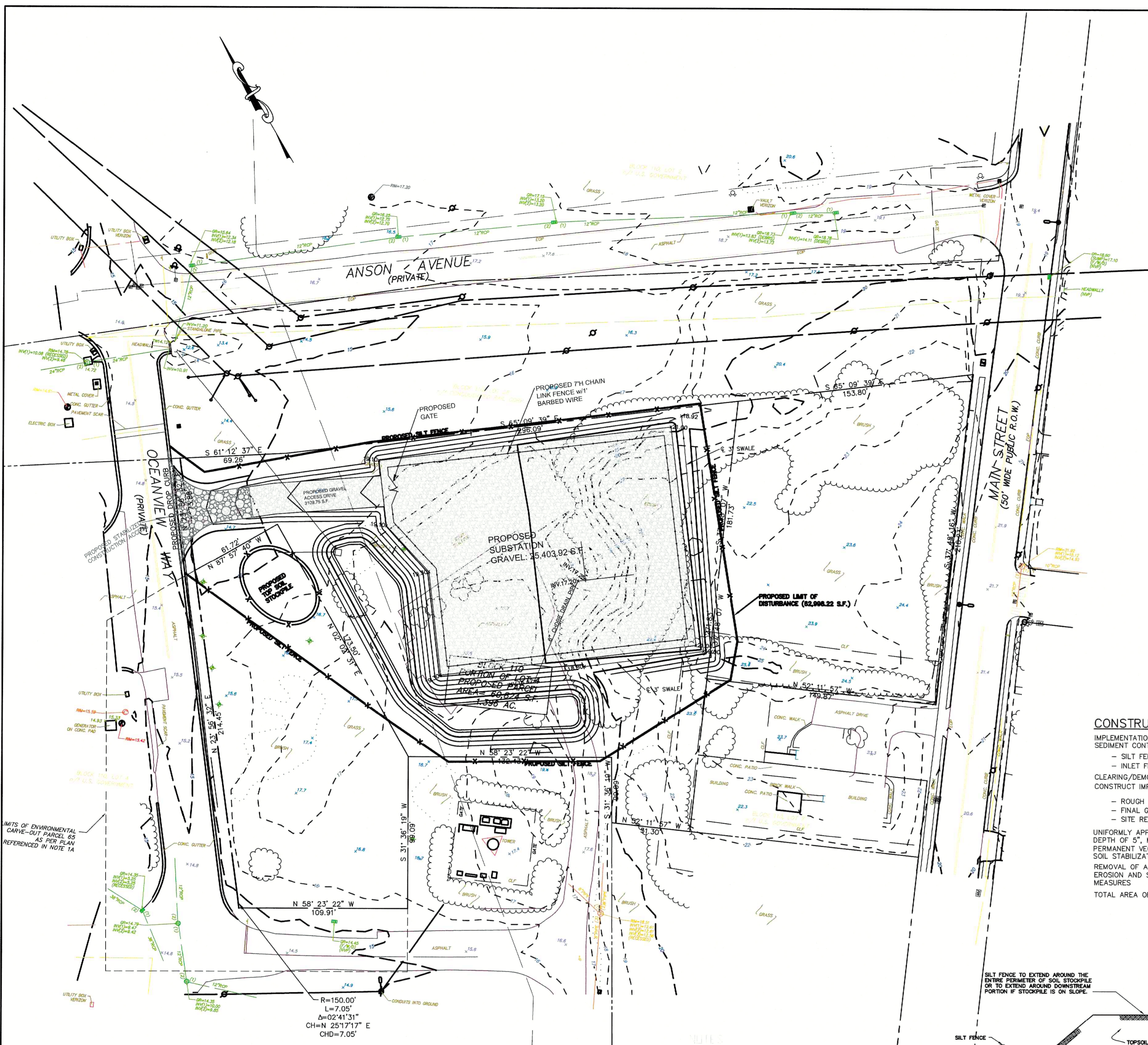
- NOTES:
- AN ON-SITE DRAINAGE SWALE SHALL BE LOCATED BETWEEN THE TOPSOIL STOCKPILE AND OFF-SITE PROPERTY.
 - REFERENCE IS MADE TO THE SILT FENCE DETAIL FOR MATERIALS AND INSTALLATION METHODS.
 - IF THE STOCKPILE IS TO REMAIN FOR MORE THAN 14 DAYS, IT SHALL BE STABILIZED WITH BURLAP MATTING OR SEEDED WITHIN 7 DAYS OF COMPLETION TO MINIMIZE EROSION. ACID PRODUCING SOILS SHALL BE COVERED WITH POLYETHYLENE SHEETING.
 - INSPECTION OF SILT FENCES SHOULD BE AT LEAST ONCE PER WEEK AND AFTER RAIN EVENTS IN EXCESS OF 1/2". REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
 - SEDIMENT TRAPPED BY THE FENCES SHALL BE REMOVED AND PROPERLY DISPOSED OF IMMEDIATELY AFTER ACCUMULATION OCCURS.
 - SILT FENCES SHALL BE MAINTAINED IN PLACE UNTIL TOPSOIL STOCKPILE HAS BEEN ELIMINATED AND SHALL BE REMOVED ONLY WHEN THE PROJECT IS COMPLETED.



SILT FENCE DETAIL
N.T.S.



CONSTRUCTION ENTRANCE DETAIL
N.T.S.



- CONFIRMED CHAINS ARE STOOD ON THE NEW JERSEY STATE GEODANSIC SYSTEM. THE COORDINATE DATUM BEING NAD 83. ALL VERTICAL DATA HAVE BE...
- STAKE TO SURVEYING SHALL EXTEND A MINIMUM OF 5' OUTSIDE OF THE DISTURBED AREA...
- ALL WORK IS TO BE COMPLETED WITHIN THE SPECIFIED TIME FRAME. THE...
- THESE AND OTHER NOTES ARE SUBJECT TO THE REQUIREMENTS OF THE SPECIFICATION FOR PLANNING...
- ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME...
- STORMWATER MANAGEMENT DESIGN SYSTEMS IN EXCESS OF 1/2". REFER TO DRAWING E-4 & E-5 FOR...

NO.	DATE	DESCRIPTION	SURVEYED BY	DRAWN BY	DESIGNED BY	CHECKED BY
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PLOT BY GREG TEDFORD PLOT DATE 2/28/2024						

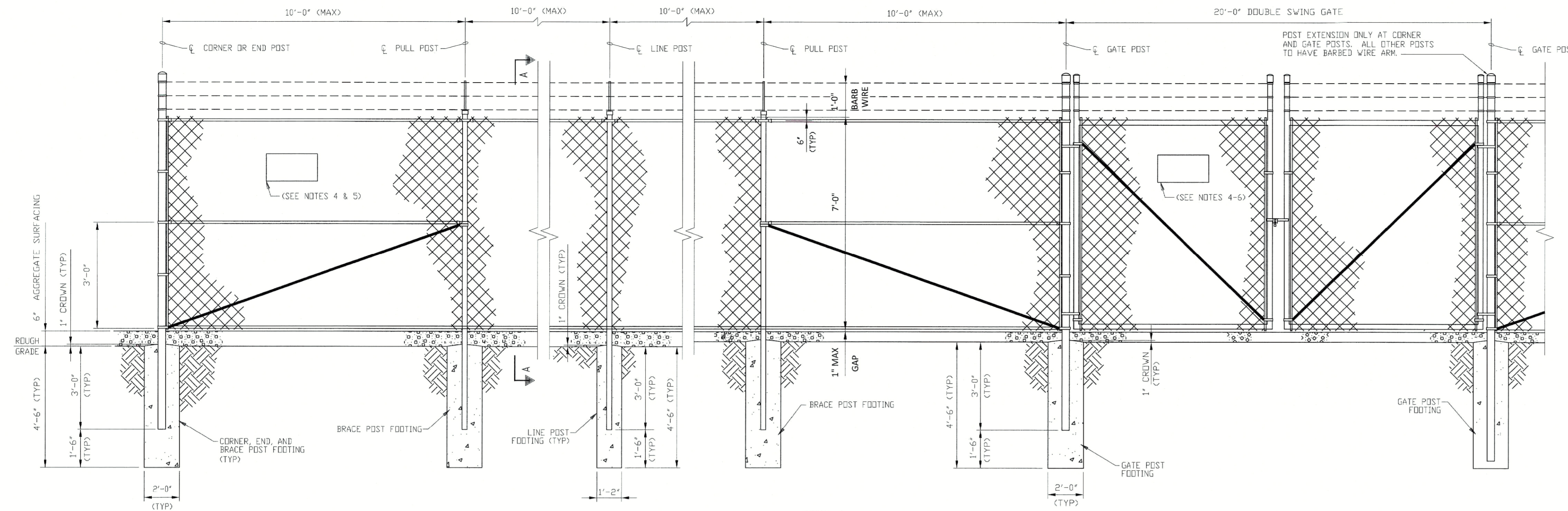
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 N.J. LIC. 24680397900
 PROFESSIONAL PLANNER N.J. LIC. 33LJ00520600

JERSEY CENTRAL POWER AND LIGHT
 MOD SUBSTATION AT FMERA
 SOIL EROSION AND SEDIMENT
 CONTROL PLAN
 BOROUGH OF OCEANPORT
 MONMOUTH COUNTY NEW JERSEY

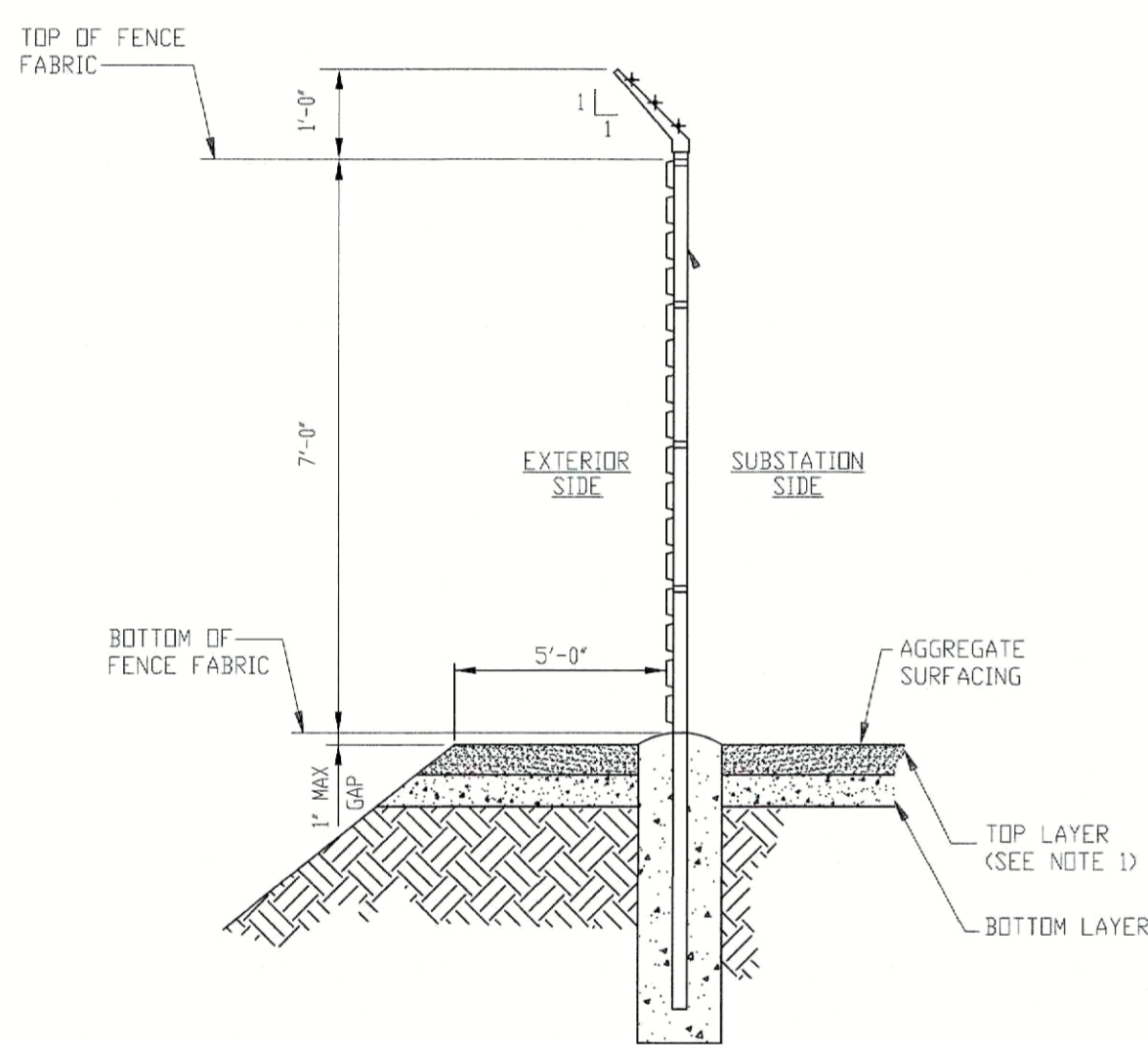
SURVEYED BY: --- DESIGNED BY: L.V.P. SCALE: 1" = 40'
 DRAWN BY: L.V.P. CHECKED BY: J.L.M. JOB NO. FE17093922 DATE: 12/07/2023
 CADD FILE: FE17093922-SE SHEET 6 OF 7



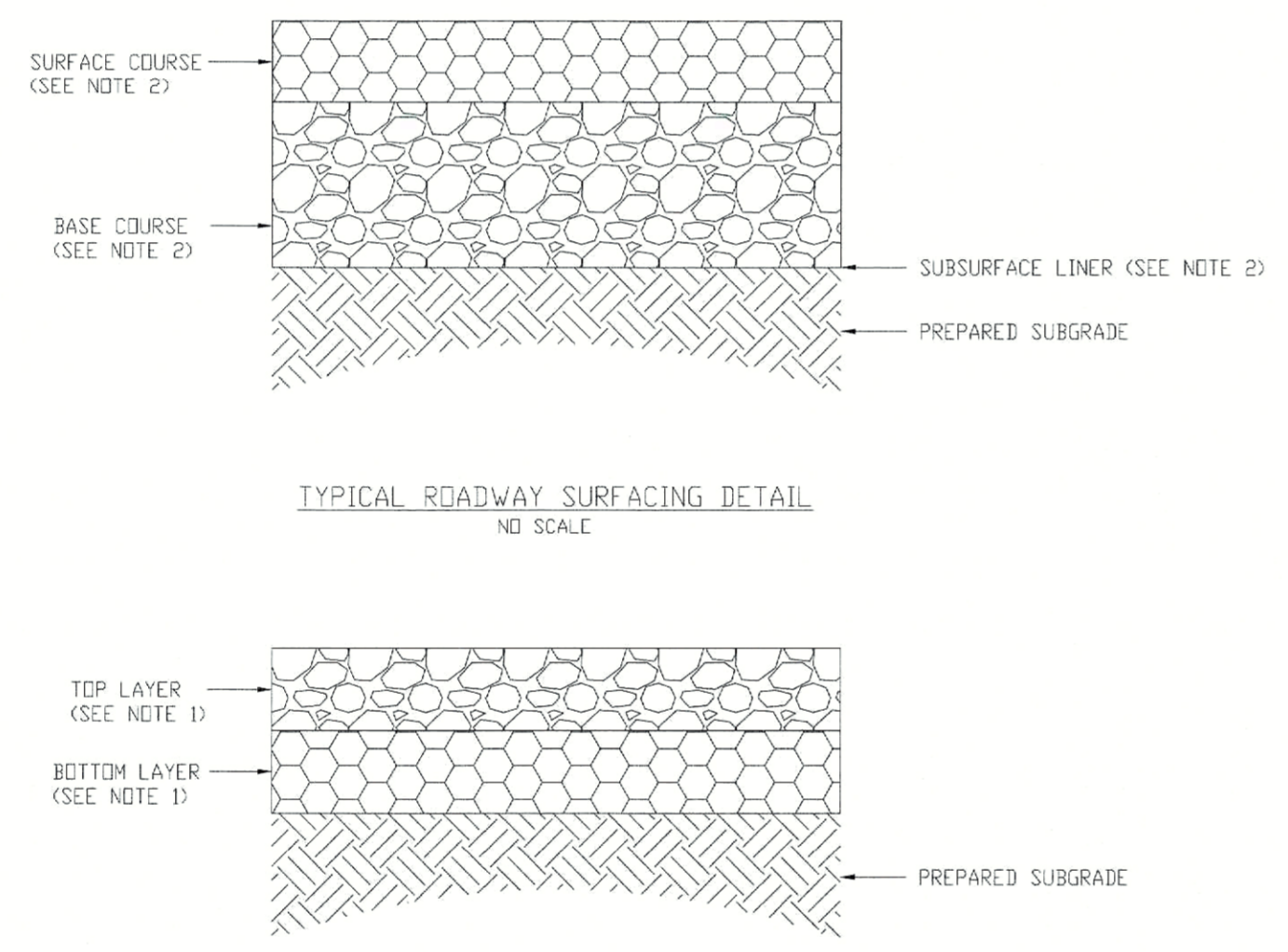
DETAIL 1
TYPICAL FENCE ELEVATION
NO SCALE

NOTES

- PLACE 6" LAYER OF CRUSHED STONE IN ACCORDANCE WITH FIRSTENERGY SPECIFICATIONS AT ALL FENCED AREAS AND EXTEND 5'-0" OUTSIDE OF THE FENCE.
TOP COURSE: 3" THICK AASHTO SIZE NO. 57 WASHED LIMESTONE
BOTTOM COURSE: 3" THICK AASHTO SIZE NO. 3 WASHED LIMESTONE
- PLACE 12" LAYER OF CRUSHED STONE IN ACCORDANCE WITH FIRST ENERGY SPECIFICATION AT ALL ACCESS DRIVE & PARKING AREAS OUTSIDE THE FENCE.
BASE COURSE: 9" THICK UNLESS NOTED OTHERWISE AASHTO SIZE NO. 2, NOMINAL SIZE 2-1/2" INCH TO 1-1/2"
SURFACE COURSE: 3" THICK UNLESS NOTED OTHERWISE BASE MATERIAL SIZE NO. 304, NOMINAL SIZE 2 INCH TO CURSHER FINES
SUBSURFACE LINER: TENSAR STRUCTURAL GED GRID TX190L, OR EQUAL AVAILABLE.
- SEE FIRSTENERGY GENERAL SPECIFICATION FOR SUBSTATION CHAIN LINK SECURITY FENCE, SPECIFICATION FE-FENCE-1, FOR FENCING MATERIALS AND INSTALLATION INSTRUCTIONS. SEE FIRSTENERGY GENERAL SPECIFICATIONS FOR SUBSTATION HIGH SECURITY FENCE, SPECIFICATION FE-FENCE-1S, FOR SLIDE GATE MATERIALS AND INSTALLATION INSTRUCTIONS.
- EIGHT (8) "DANGER-NO TRESPASSING-KEEP OUT" SIGNS ARE REQUIRED, MOUNTED ON FENCE AND GATE IN APPROXIMATE LOCATIONS AS SHOWN. SIGNS SHALL BE PLACED NO GREATER THAN 100' APART.
- EIGHT (8) "PRIVATE PROPERTY" SIGNS ARE REQUIRED, MOUNTED ON FENCE AND GATE IN APPROXIMATE LOCATIONS AS SHOWN. SIGNS SHALL BE PLACED NO GREATER THAN 100' APART.
- ONE (1) STATION ADDRESS SIGN IS REQUIRED, MOUNTED ON THE GATE SIGN PROVIDED BY THE REGION.
- NOTES 4-6 ARE MINIMAL SIGNAGE REQUIRED. REGION TO SUPPLY ANY OTHER SIGNAGE THE REQUIRE.

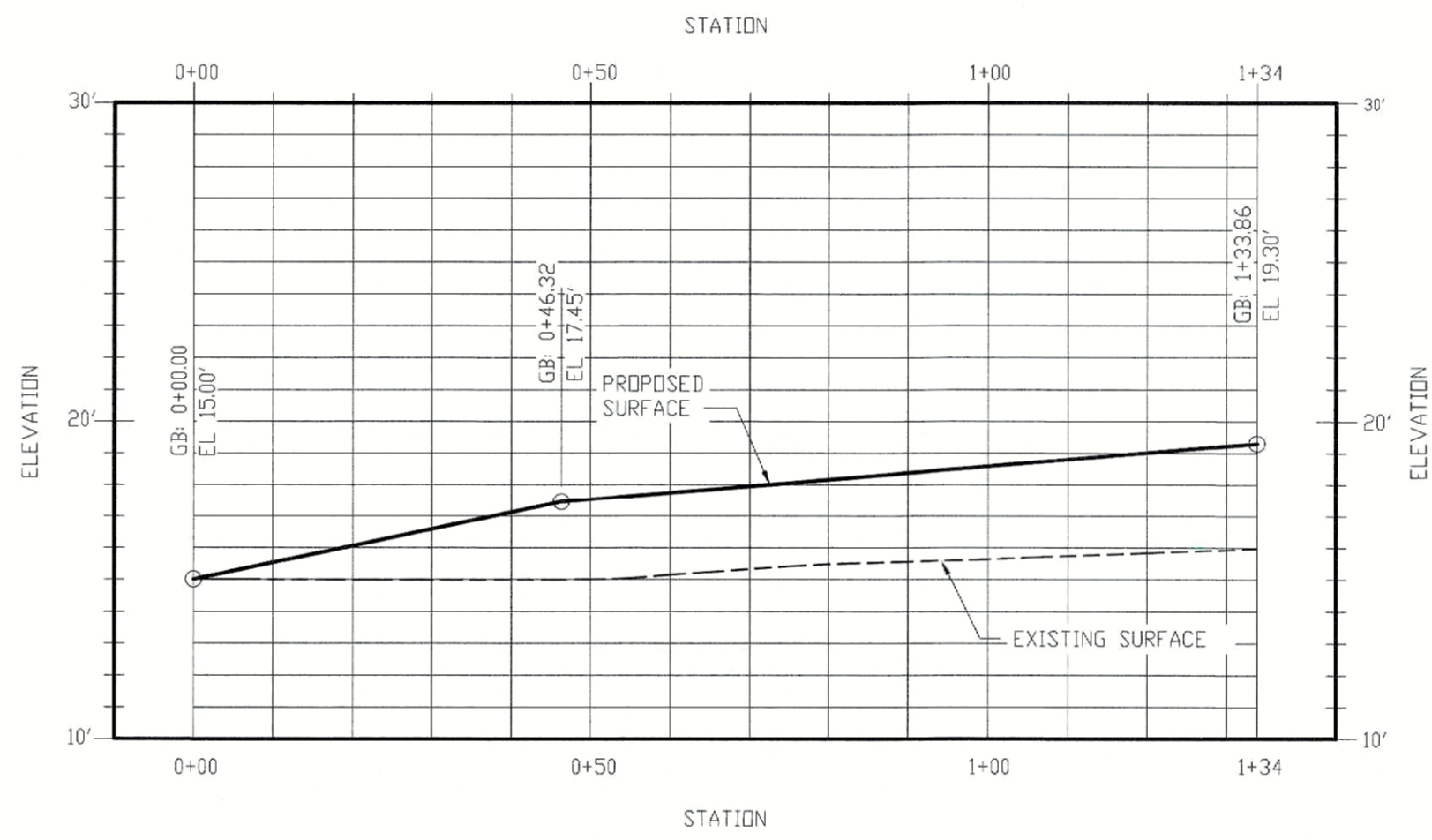


SECTION A
TYPICAL FENCE ELEVATION
NO SCALE

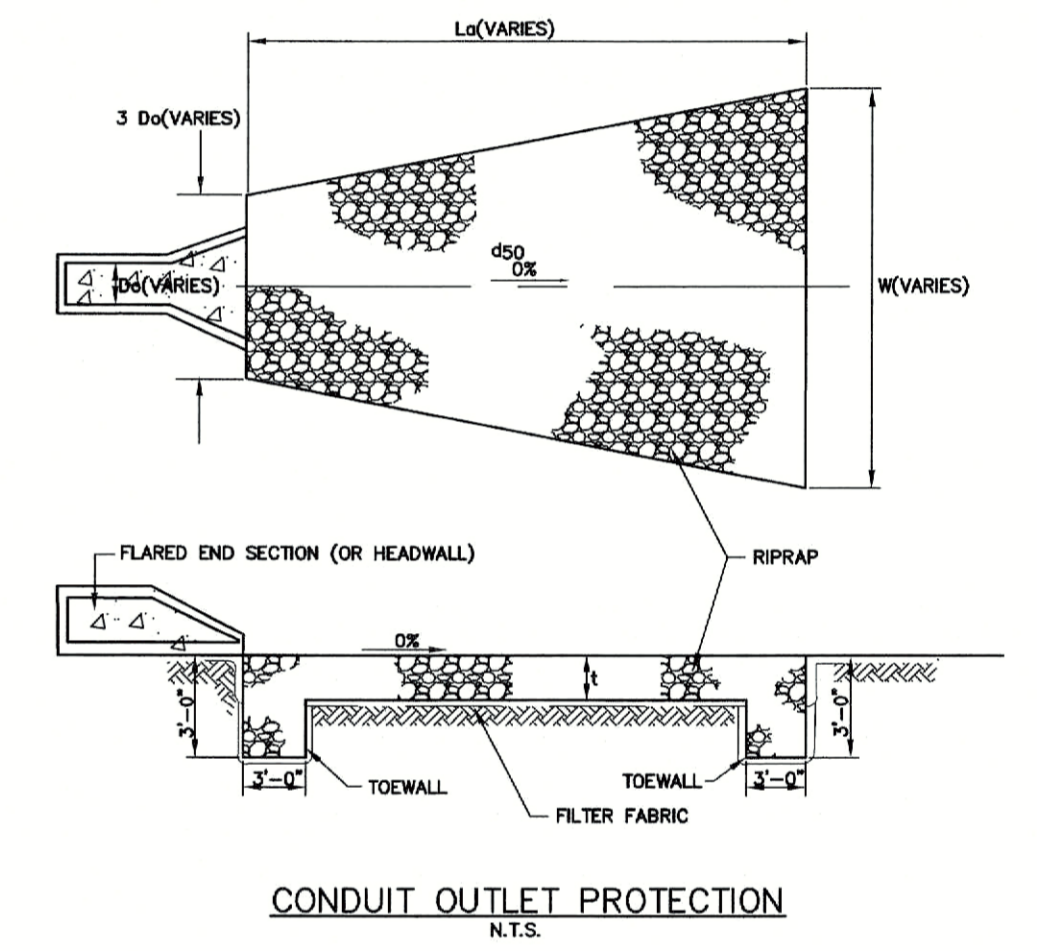


TYPICAL ROADWAY SURFACING DETAIL
NO SCALE

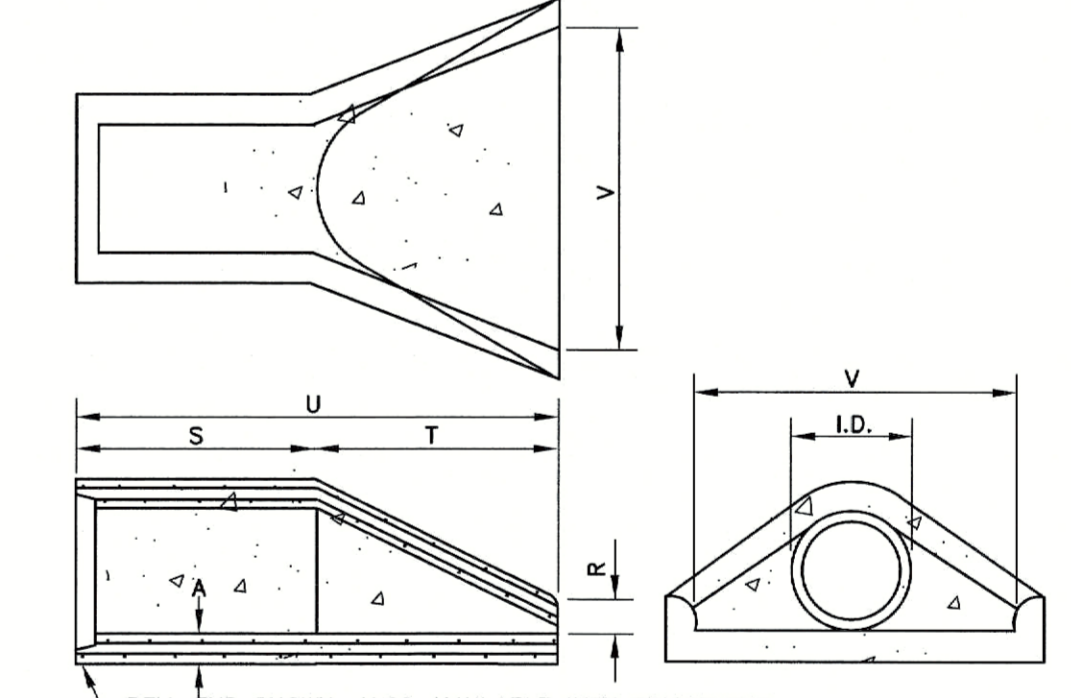
TYPICAL SURFACING DETAIL
NO SCALE



ACCESS ROAD PROFILE
HORIZONTAL SCALE: 1"=20'
VERTICAL SCALE: 1"=5'



CONDUIT OUTLET PROTECTION
N.T.S.

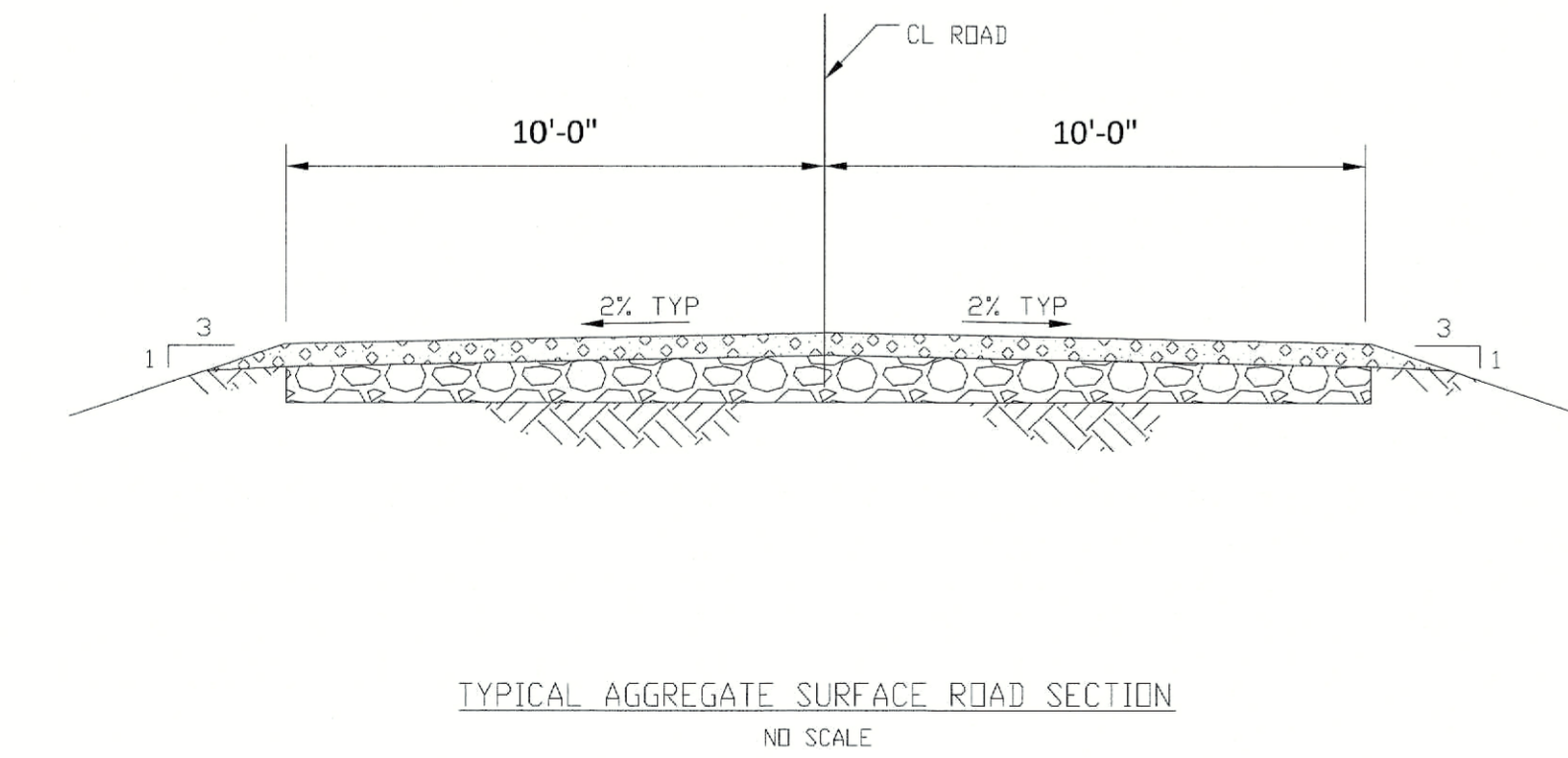


BELL END SHOWN. ALSO AVAILABLE WITH SPIGOT END.

I.D.	12	15	18	21	24	27	30	36	42	48	54	60
A	2	2 1/4	2 1/2	2 3/4	3	3 1/4	3 1/2	4	4 1/2	5	5 1/2	6
R	5	7 1/2	9	9	10	10	14	14	21	24	27	31
S	24	24	24	24	24	24	26	26	36	30	36	36
T	24	24	24	24	24	24	30	36	60	66	60	60
FT.	4	4	4	4	4	4	4'-8"	5'-2"	8	8	8	8
V	24	28	34	40	48	54	60	72	78	84	90	96
WT./FT. (LBS.)	360	480	640	860	920	1200	1540	2100	5500	6500	8200	9300

NOTE: ALL NUMBERS REPRESENT INCHES UNLESS OTHERWISE SPECIFIED.

FLARED END SECTION
N.T.S.



TYPICAL AGGREGATE SURFACE ROAD SECTION
NO SCALE

NO.	DATE	DESCRIPTION	SURVEYED BY	DRAWN BY	DESIGNED BY	CHECKED BY
1	2-26-24	REVISE SHEETS.				



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JERSEY CENTRAL POWER AND LIGHT
MOD SUBSTATION AT FMRA
CONSTRUCTION DETAIL SHEET
BOROUGH OF OCEANPORT

MONMOUTH COUNTY		NEW JERSEY	
SURVEYED BY: ---	DESIGNED BY: L.V.P.	SCALE: 1" = 40'	JOB NO. FE17093922
DRAWN BY: L.V.P.	CHECKED BY: J.L.M.		DATE: 12/07/2023
CADD FILE: FE1709392-CD		SHEET 7 OF 7	